



## ZONING

PROJECT ADDRESS: 1500 W NORTH TEMPLE STREET  
SALT LAKE CITY, UT 84116  
ASSESSOR PARCEL: 08-34-476-017-0000  
SITE AREA: 2.07 AC (90,169 SF)

BASELINE ZONING INFORMATION:

ZONING: TSA-MUEC-C (TRANSIT STATION AREA - MIXED USED EMPLOYMENT CENTER - CORE)  
ALLOWABLE FAR: 2:1 (3:1 WITH INCENTIVES) EXCL. PKG STRUCTURE  
MAXIMUM AREA: 180,338 SF (270,507 WITH INCENTIVES)  
ALLOWABLE HEIGHT: 25 FT MIN, 75' MAX.  
ALLOWABLE DENSITY: REGULATED THROUGH FAR AND HEIGHT  
MAXIMUM UNITS: N/A  
UNIT SIZE: N/A

SETBACKS:  
FRONT: MIN. 5', MAX. 15' FEET (NORTH TEMPLE)  
SIDE: 0 FEET  
REAR: 0 FEET (ALLEY)

PARKING:  
21A.44 OFF STREET PARKING, MOBILITY AND LOADING

VEHICULAR PARKING:  
RESIDENTIAL\*: 2 PARKING STALL PER UNIT W/ 2 OR MORE BEDS  
1 PARKING STALL PER UNIT W/1 BED & EFFICIENCY  
1/2 PARKING STALL FOR SINGLE OCC. DWELLINGS (<600 SF)  
\*1/2 PARKING STALL PER UNIT W/10 MORE MORE UNITS W/ MIN. 25% AFFORDABLE OR SENIOR.

TSA CORE (ALL USES): NO SPACES REQUIRED  
MAX. 1 PARKING STALL PER UNIT (RESIDENTIAL)  
MAX. 3 SPACES/1,000 SF USABLE SPACE (NON-RESID)

MU, R-MU (RESID.): 1/2 PARKING STALL PER UNIT

ELECTRICAL VEHICLES: 1 EV PARKING STALL PER 25 PARKING STALLS PROVIDED (SHALL COUNT TOWARD REQUIRED)

BICYCLE PARKING: 5% OF PARKING STALLS REQUIRED FOR RESIDENTIAL AND COMMERCIAL USE (MIN. 2 SPACES REQUIRED)

LOADING:

OPEN SPACE REQUIRED:  
ONE SF FOR EVERY THEN (10) SF OF LAND AREA INCLUDED IN THE DEVELOPMENT, UP TO FIVE THOUSAND (5,000) SF FOR CORE AREAS. INCLUDES LANDSCAPED YARDS, PATIOS, PUBLIC PLAZAS, POCKET PARKS, COURTYARDS, ROOF TOP AND TERRACE GARDENS AND SIMILAR.

**PROPOSED PROJECT SUMMARY:**

UNITS:  
V-A BUILDING: 70 UNITS  
III-A BUILDING: 130 UNITS  
TOTAL: 200 UNITS

SITE AREA: 2.07 AC  
DENSITY: 97 DU/AC

FLOOR AREA RATIO: 233,083 SF = 2.59:1 FAR  
(SEE GROSS BUILDING AREA SUMMARY TABLE)

VEHICULAR PARKING PROVIDED: 100 SPACES  
BICYCLE PARKING PROVIDED: 24 SPACES

OPEN SPACE:  
PROVIDED ROOF TERRACE LVL 2: 3,920 SF  
PROVIDED COURTYARD LVL 2: 13,082 SF

## PROJECT DESCRIPTION

**PROJECT DESCRIPTION:**  
CONSTRUCT NEW 6-STORY MULTI-FAMILY BUILDING WITH 6 STORIES OF RESIDENTIAL OVER 1-STORIES OF GARAGE, COMMERCIAL & DAYCARE. CONTAINS 200 APARTMENT UNITS, APPROX. 5,000 SF OF COMMERCIAL SPACE AND 8,000 SF OF DAY CARE AREA, LEASING OFFICE, COMMUNITY COURTYARD AND ROOF TOP TERRACES.

**PROPOSED BUILDING**  
6 STORY MULTI-FAMILY BUILDING.

5 LEVELS OF TYPE III-A WOOD CONSTRUCTION OVER  
1 LEVELS OF ABOVE GROUND TYPE 1-A CONCRETE PARKING GARAGE & 5 LEVELS OF TYPE V-A WOOD CONSTRUCTION OVER 1 LEVEL OF ABOVE GROUND TYPE 1-A CONCRETE PARKING GARAGE, DAYCARE AND COMMERCIAL USES.

OCCUPANCY TYPES: R2, S2, B, A3, A2 (COMMERCIAL), E (DAYCARE)

## VICINITY MAP



## PARKING PROVIDED

SPARK - PARKING SUMMARY						
Parking Required		Min.	Max.			
Residential:	0.5 space per unit	100	200			
Non-residential:	None	0	37			
<b>Total Required:</b>		<b>100</b>	<b>237</b>			
PARKING PROVIDED						
LEVEL 1	STANDARD	ADA	ADA VAN	ADA EV	STANDARD EV	TOTAL
	93	2	1	1	3	100

## UNIT MIX SUMMARY

UNIT COUNT MIX	
UNIT NAME	COUNT
UNIT S1	13
UNIT S2	2
UNIT S2.1	3
UNIT S3	4
UNIT S3.1	1
RESIDENTIAL-0 BED (Studio)	23
UNIT 1A	98
UNIT 1A.4	1
UNIT 1B	9
UNIT 1B.1	5
UNIT 1D	1
RESIDENTIAL-1 BED	114
UNIT 2A	6
UNIT 2A.1	16
UNIT 2A.2	2
UNIT 2A.3	2
UNIT 2A.5	4
UNIT 2B	4
UNIT 2D	4
UNIT 2E	2
UNIT 2E.1	2
UNIT 2F	3
RESIDENTIAL-2 BED	45
UNIT 3A	3
UNIT 3A.1	5
UNIT 3A.2	2
UNIT 3A.3	3
RESIDENTIAL-3 BED	13
UNIT 4A	2
UNIT 4A.1	3
RESIDENTIAL-4 BED	5
Grand total: 200	200

## AREA SUMMARY

BUILDING AREA SCHEDULE - GROSS SF	
Level	Total Area
LEVEL 1	53859 SF
LEVEL 2	39315 SF
LEVEL 3	39323 SF
LEVEL 4	39323 SF
LEVEL 5	39323 SF
LEVEL 6	21940 SF
<b>Grand total</b>	<b>233083 SF</b>

COMMON AREA SCHEDULE - GROSS SF		
USE	OCCUP ANCY	AREA
Not Placed		0 SF
LEVEL 1		0 SF
BOH	A-2	717 SF
TYPE IA / COMMERCIAL	A-2	1887 SF
TYPE IA / COMMERCIAL	A-2	3845 SF
TYPE IA / RESD AMENITIES	A-3 / B	4467 SF
TYPE IA / DAYCARE	E	5526 SF
TYPE IA / PARKING	S-2	37417 SF
LEVEL 2		930 SF
TYPE VA / RESD AMENITIES	A-3	930 SF
TYPE VA / RESIDENTIAL	R-2	16370 SF
TYPE IIIA / RESIDENTIAL	R-2	22014 SF
LEVEL 3		17309 SF
TYPE VA / RESIDENTIAL	R-2	17309 SF
TYPE IIIA / RESIDENTIAL	R-2	22014 SF
LEVEL 4		17309 SF
TYPE VA / RESIDENTIAL	R-2	17309 SF
TYPE IIIA / RESIDENTIAL	R-2	22014 SF
LEVEL 5		17309 SF
TYPE VA / RESIDENTIAL	R-2	17309 SF
TYPE IIIA / RESIDENTIAL	R-2	22014 SF
LEVEL 6		0 SF
TYPE VA / RESIDENTIAL	R-2	0 SF
TYPE IIIA / RESIDENTIAL	R-2	21940 SF
Grand total		233083 SF



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## SPARK!

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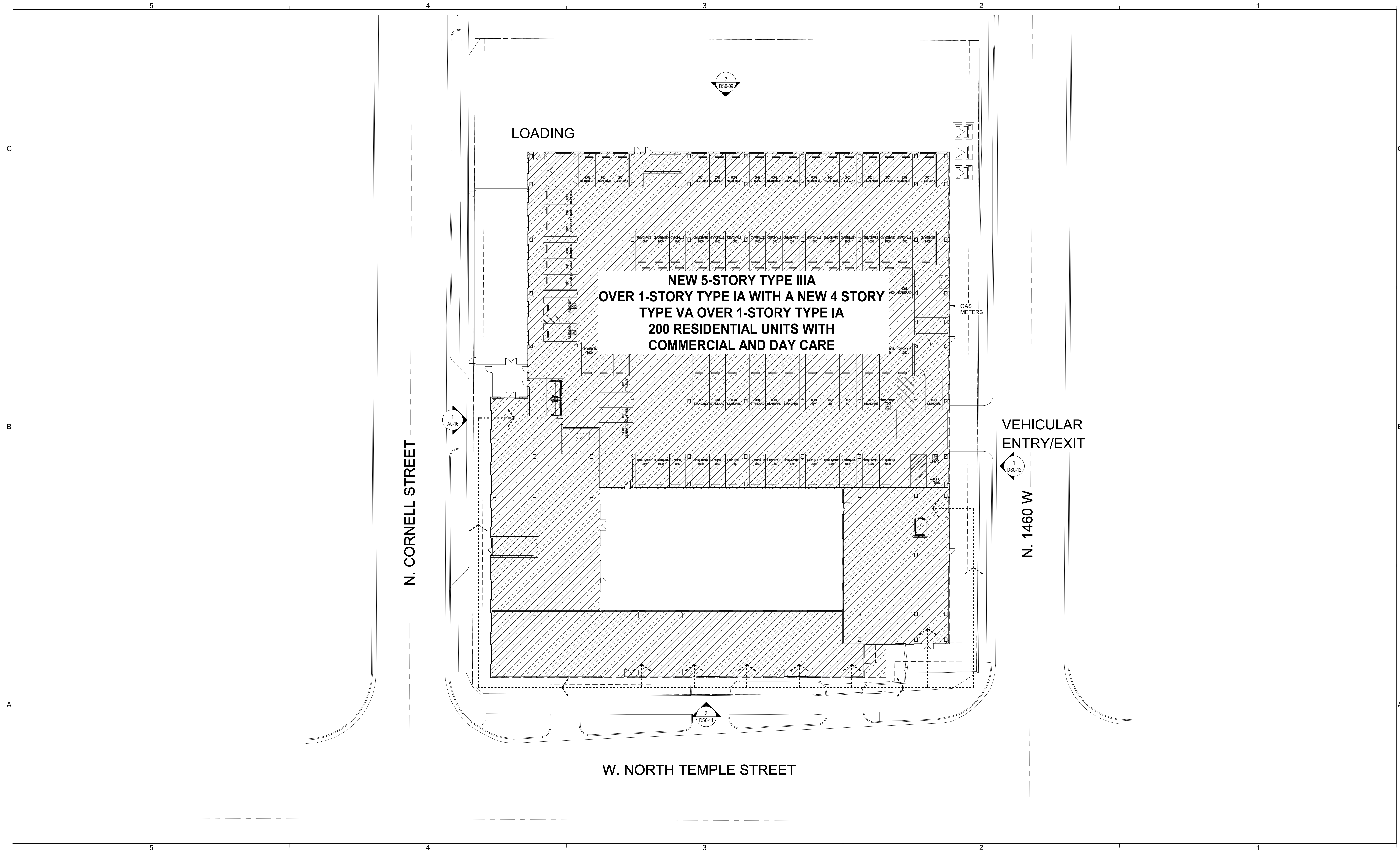
## PLANNING SUBMITTAL

Developer  
SPARK!  
Brinshore Development, LLC.  
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847.562.9400

## PROJECT SUMMARY

# DS0-00





N. CORNELL STREET

W. NORTH TEMPLE STREET

N. 1460 W  
VEHICULAR ENTRY/EXIT

**NEW 5-STORY TYPE IIIA  
OVER 1-STORY TYPE IA WITH A NEW 4 STORY  
TYPE VA OVER 1-STORY TYPE IA  
200 RESIDENTIAL UNITS WITH  
COMMERCIAL AND DAY CARE**

LOADING

GAS METERS

AD-16

DSO-09

DSO-11

DSO-12



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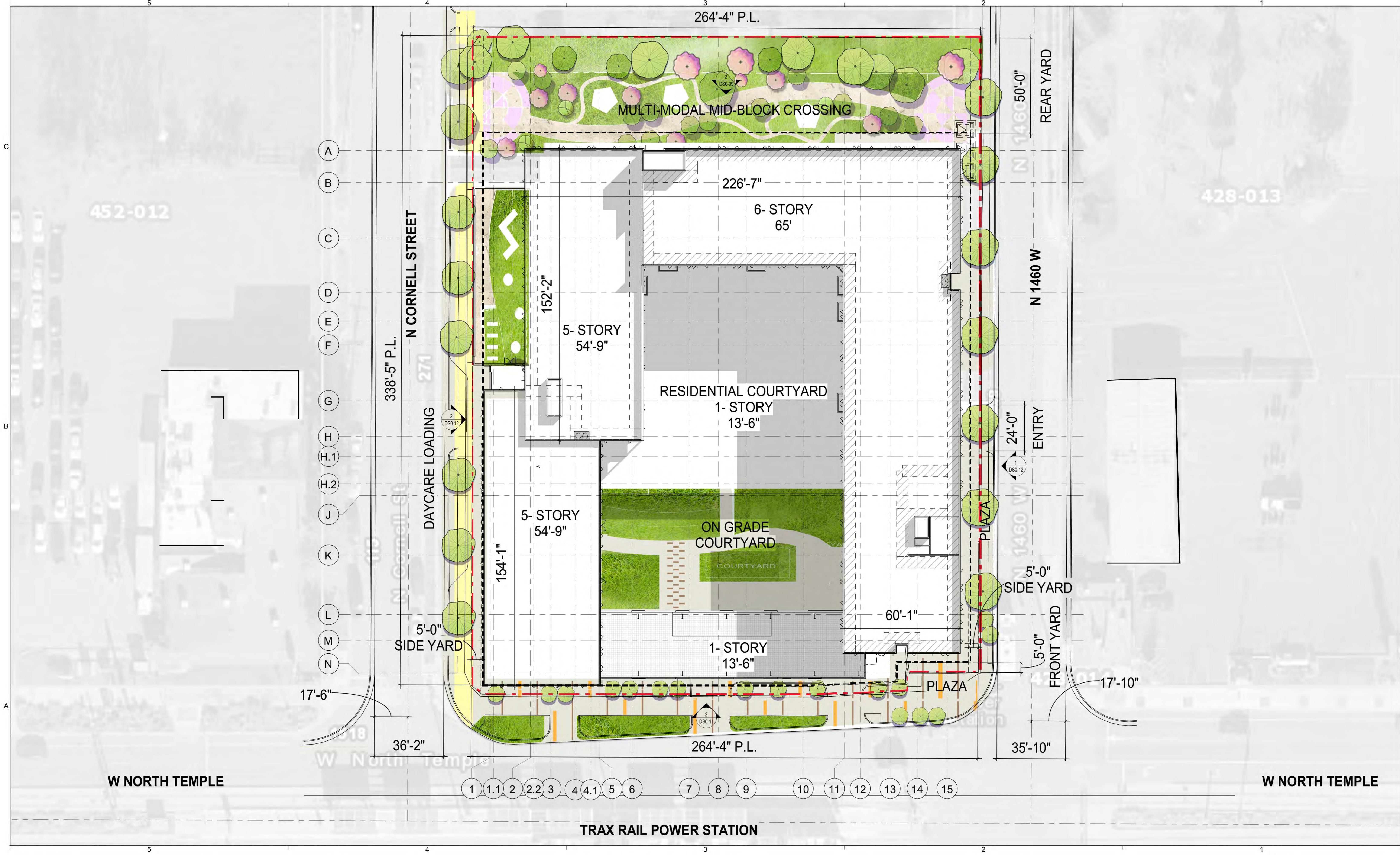
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PLOT PLAN

**DS0-01**



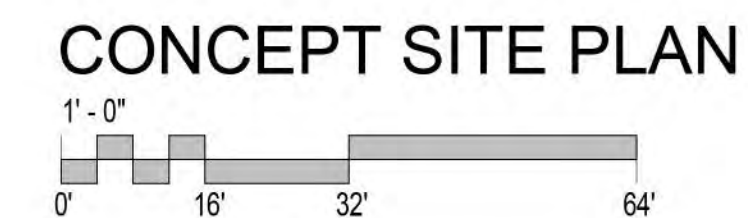


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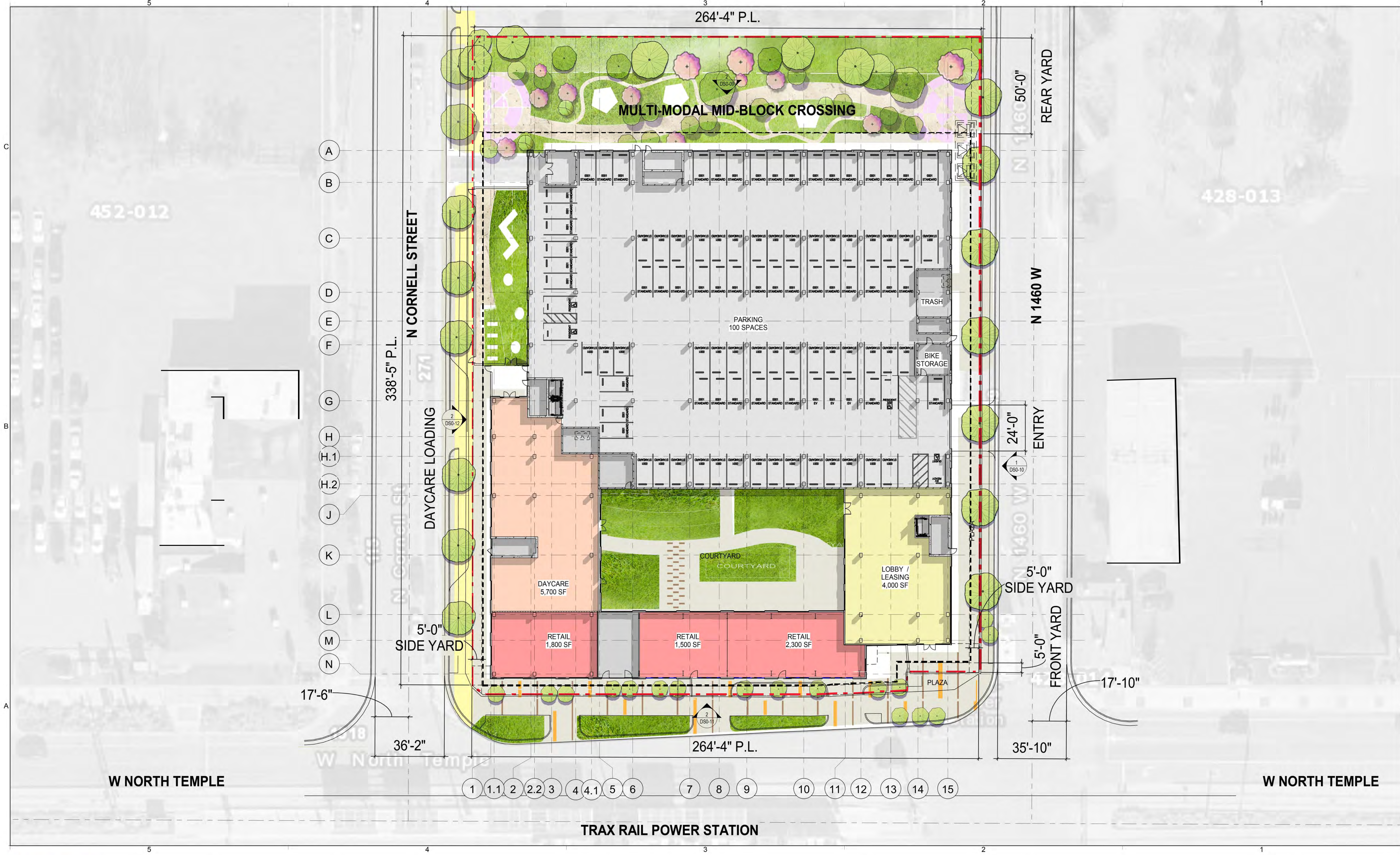
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**DS0-02**





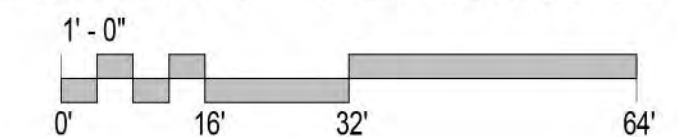
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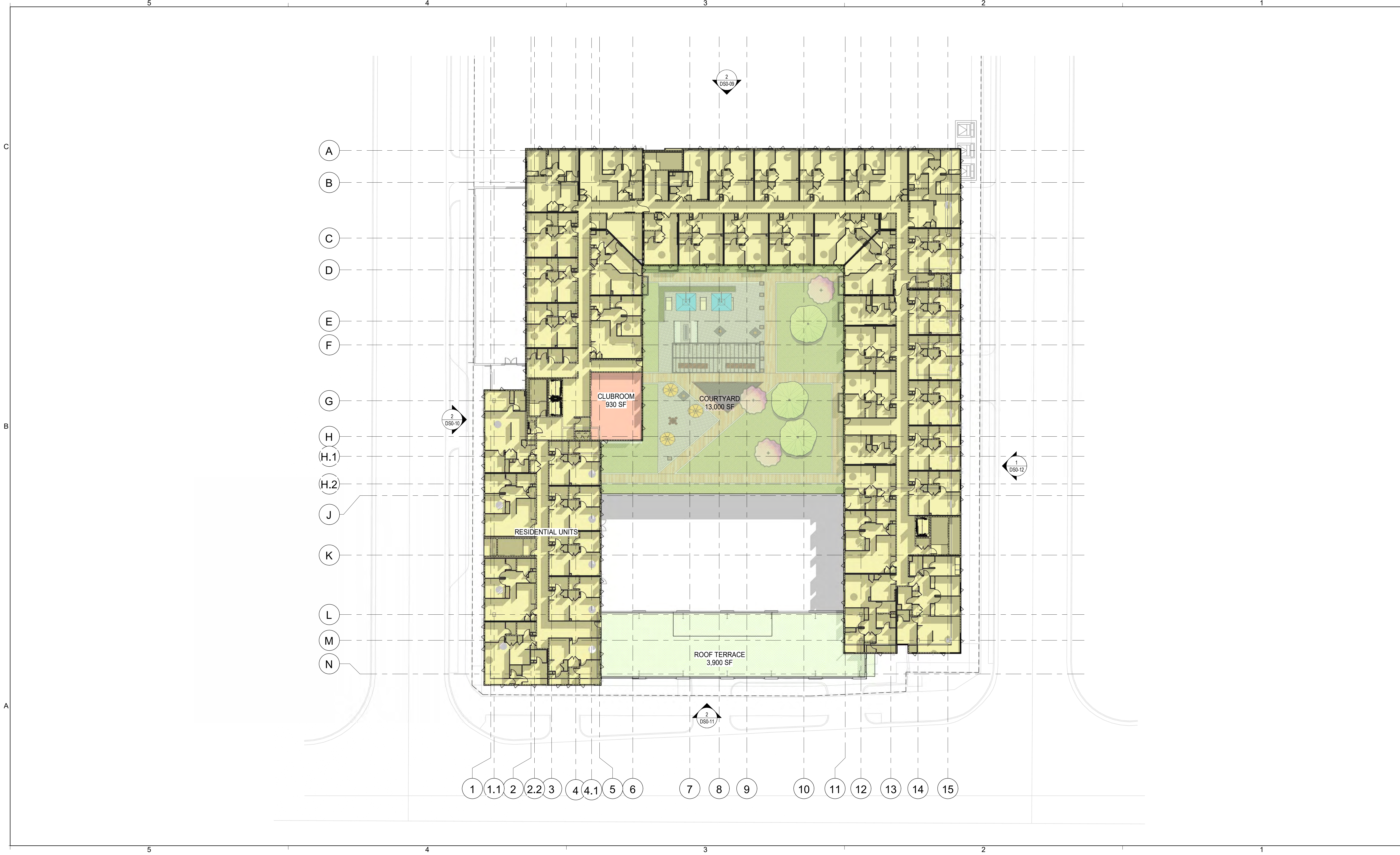
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**LEVEL 01 - FLOOR PLAN**



**DS0-03**





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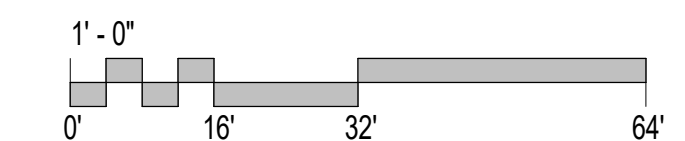
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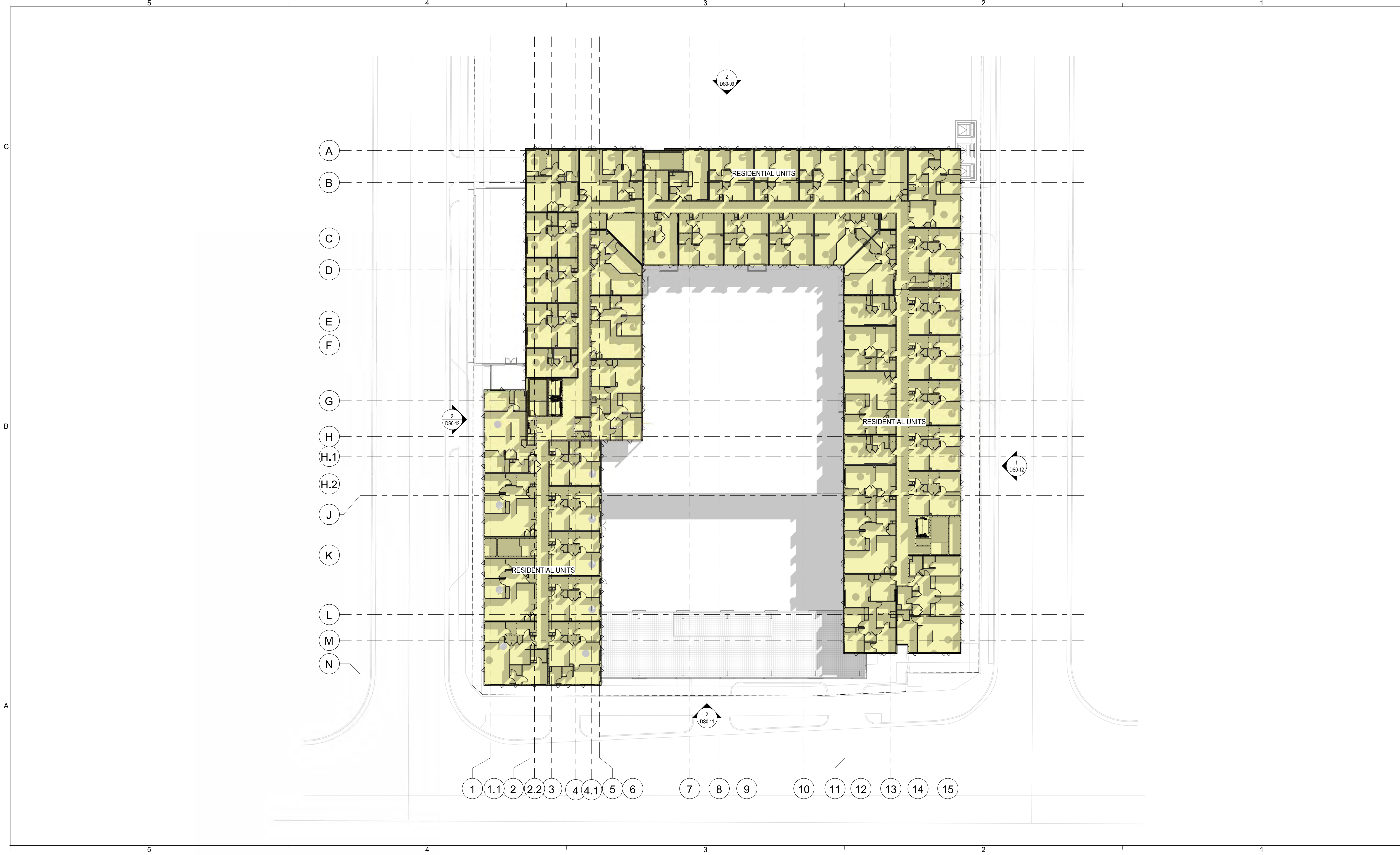
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**LEVEL 02 - FLOOR PLAN**



**DS0-04**





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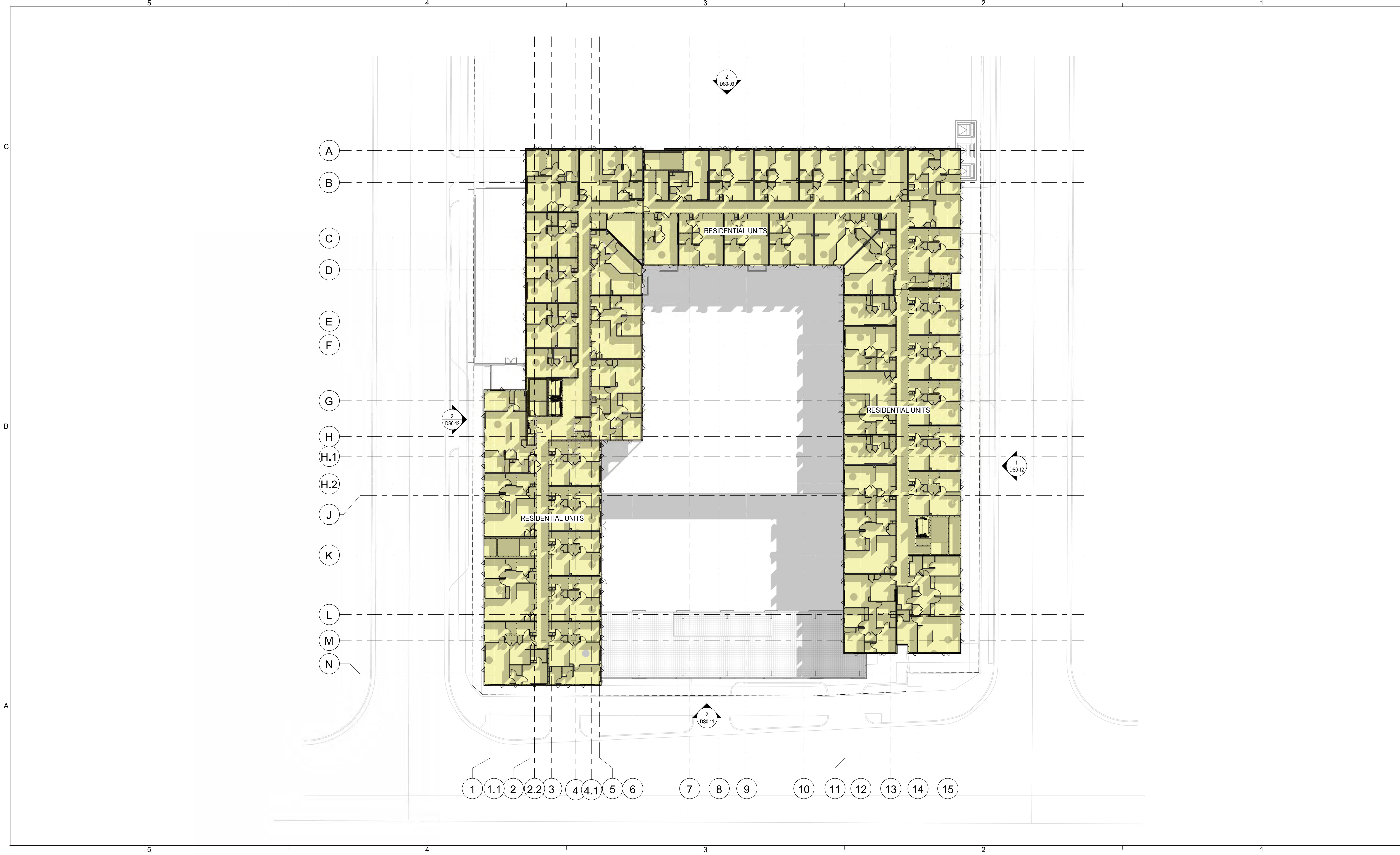
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**LEVEL 03 - FLOOR PLAN**  
 1" = 0'  
 0' 16' 32' 64'

**DS0-05**





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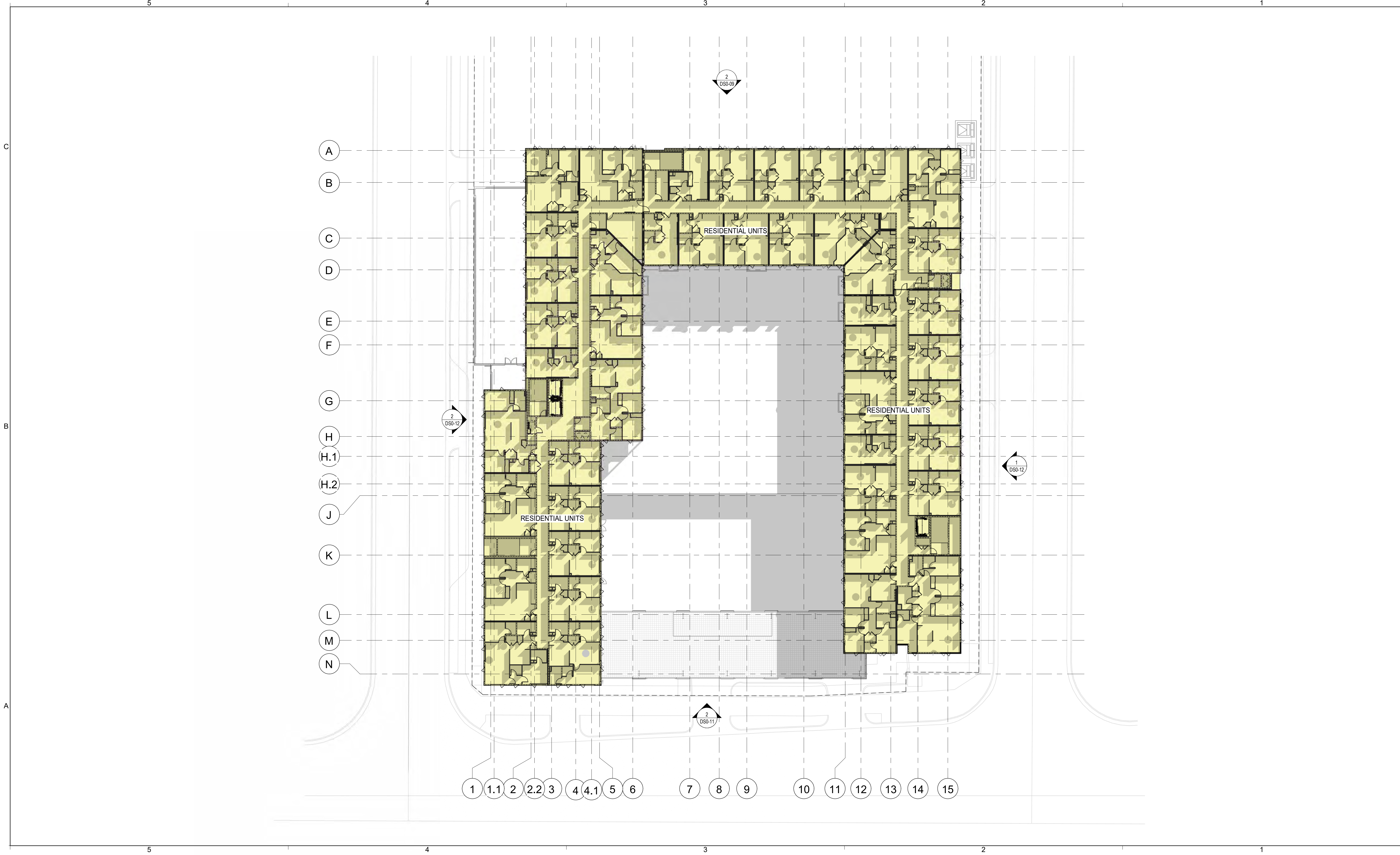
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**LEVEL 04 - FLOOR PLAN**  
 1" = 0'  
 0' 16' 32' 64'

**DS0-06**





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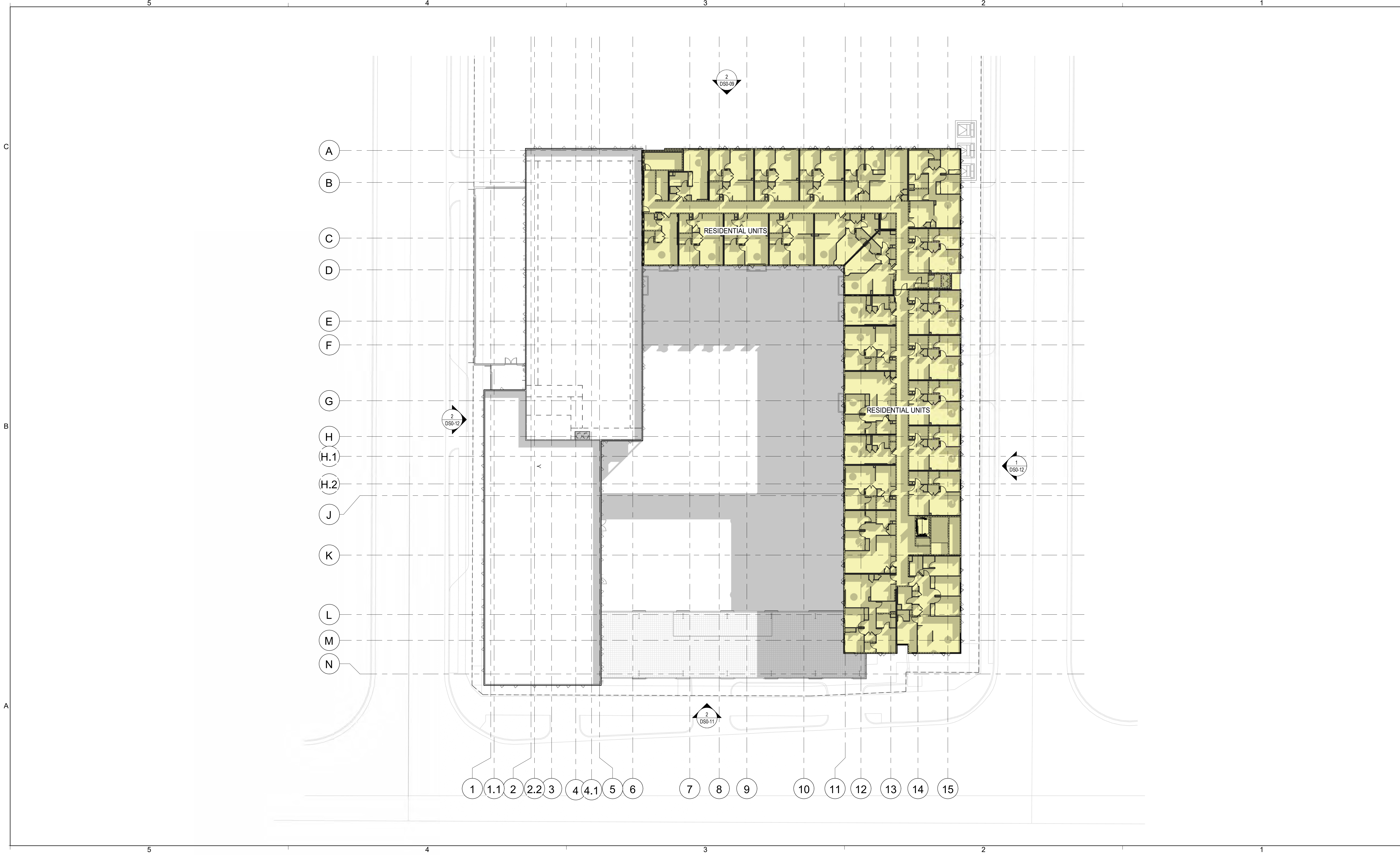
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**LEVEL 05 - FLOOR PLAN**  
 1" = 0'  
 0' 16' 32' 64'

**DS0-07**





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**LEVEL 06 - FLOOR PLAN**  
 1" = 0'  
 0' 16' 32' 64'

**DS0-08**



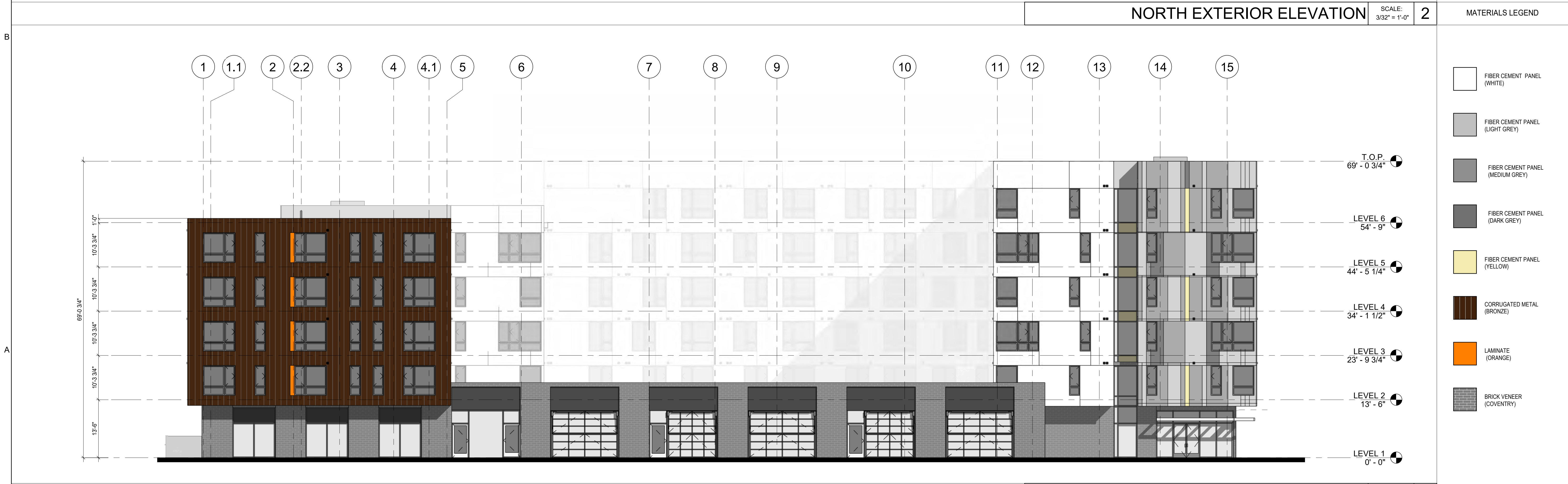


**NORTH EXTERIOR ELEVATION**

SCALE: 3/32" = 1'-0"

2





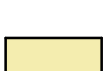



MATERIALS LEGEND



**SOUTH EXTERIOR ELEVATION**

SCALE: 3/32" = 1'-0"

1

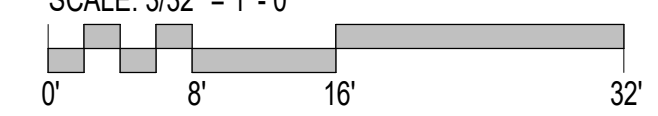
-  FIBER CEMENT PANEL (WHITE)
-  FIBER CEMENT PANEL (LIGHT GREY)
-  FIBER CEMENT PANEL (MEDIUM GREY)
-  FIBER CEMENT PANEL (DARK GREY)
-  FIBER CEMENT PANEL (YELLOW)
-  CORRUGATED METAL (BRONZE)
-  LAMINATE (ORANGE)
-  BRICK VENEER (COVENTRY)

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**OVERALL ELEVATIONS**  
 SCALE: 3/32" = 1'-0"  


**DS0-09**





WEST EXTERIOR ELEVATION SCALE: 3/32" = 1'-0" 2

MATERIALS LEGEND



EAST EXTERIOR ELEVATION SCALE: 3/32" = 1'-0" 1

-  FIBER CEMENT PANEL (WHITE)
-  FIBER CEMENT PANEL (LIGHT GREY)
-  FIBER CEMENT PANEL (MEDIUM GREY)
-  FIBER CEMENT PANEL (DARK GREY)
-  FIBER CEMENT PANEL (YELLOW)
-  CORRUGATED METAL (BRONZE)
-  LAMINATE (ORANGE)
-  BRICK VENEER (COVENTRY)

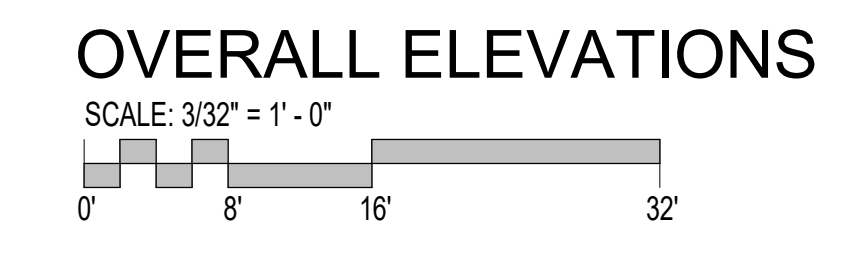


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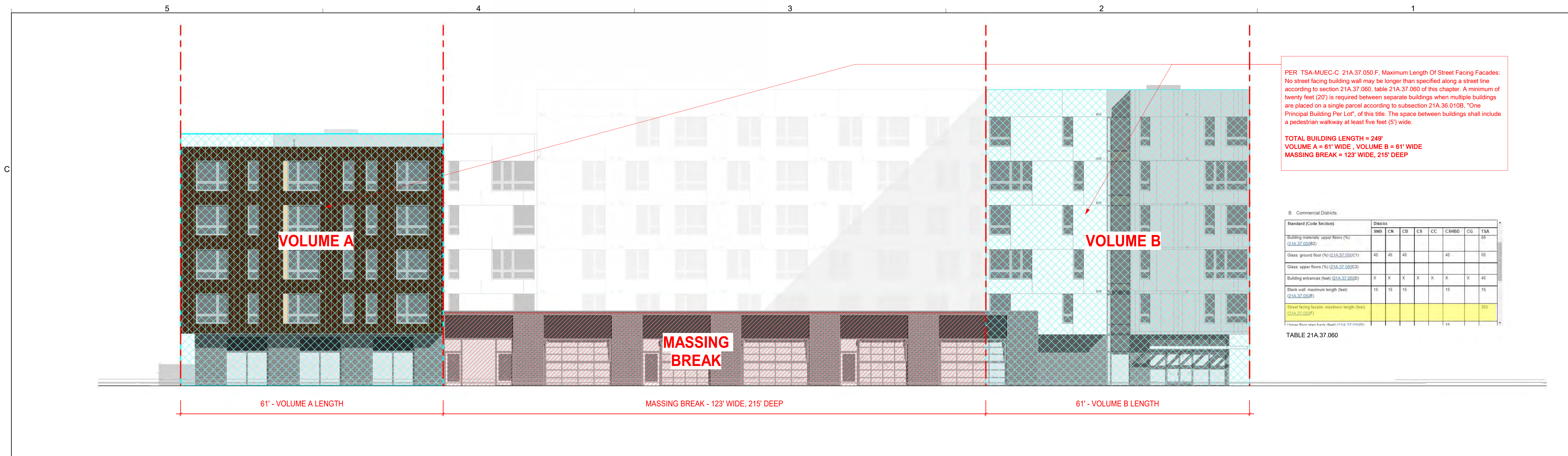
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**DS0-10**





PER TSA-MUEC-C 21A.37.050.F, Maximum Length Of Street Facing Facades:  
 No street facing building wall may be longer than specified along a street line according to section 21A.37.060, table 21A.37.060 of this chapter. A minimum of twenty feet (20') is required between separate buildings when multiple buildings are placed on a single parcel according to subsection 21A.36.010B, "One Principal Building Per Lot", of this title. The space between buildings shall include a pedestrian walkway at least five feet (5') wide.

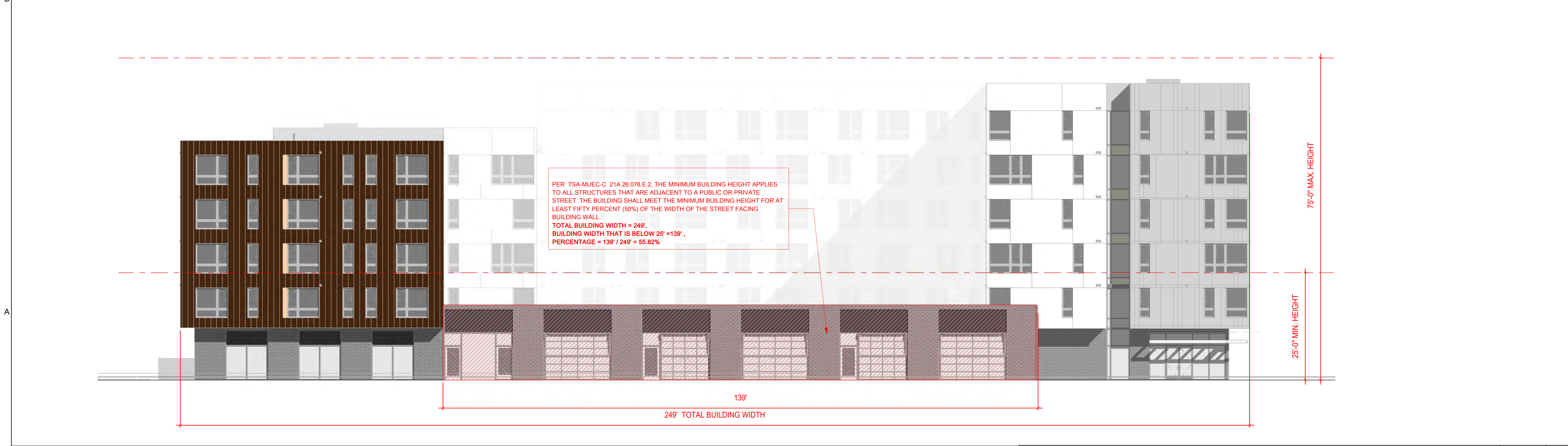
**TOTAL BUILDING LENGTH = 249'**  
**VOLUME A = 61' WIDE, VOLUME B = 61' WIDE**  
**MASSING BREAK = 123' WIDE, 215' DEEP**

B. Commercial Districts

Standard (Code Section)	Districts							
	SNB	CN	CB	CS	CC	C/SB/D	CG	TSA
Building materials: upper floors (%) (21A.37.050B2)								55
Glass: ground floor (%) (21A.37.050C1)	40	40	40				40	60
Glass: upper floors (%) (21A.37.050C2)								
Building entrances (feet) (21A.37.050D)	X	X	X	X	X	X	X	40
Blank wall: maximum length (feet) (21A.37.050E)	15	15	15				15	15
Street facing facade: maximum length (feet) (21A.37.050F)								200
1. Floor floor above bank (feet) (21A.37.050G)							15	

TABLE 21A.37.060

**BUILDING LENGTH DIAGRAM - SOUTH ELEVATION** SCALE: 3/32" = 1'-0" **2**

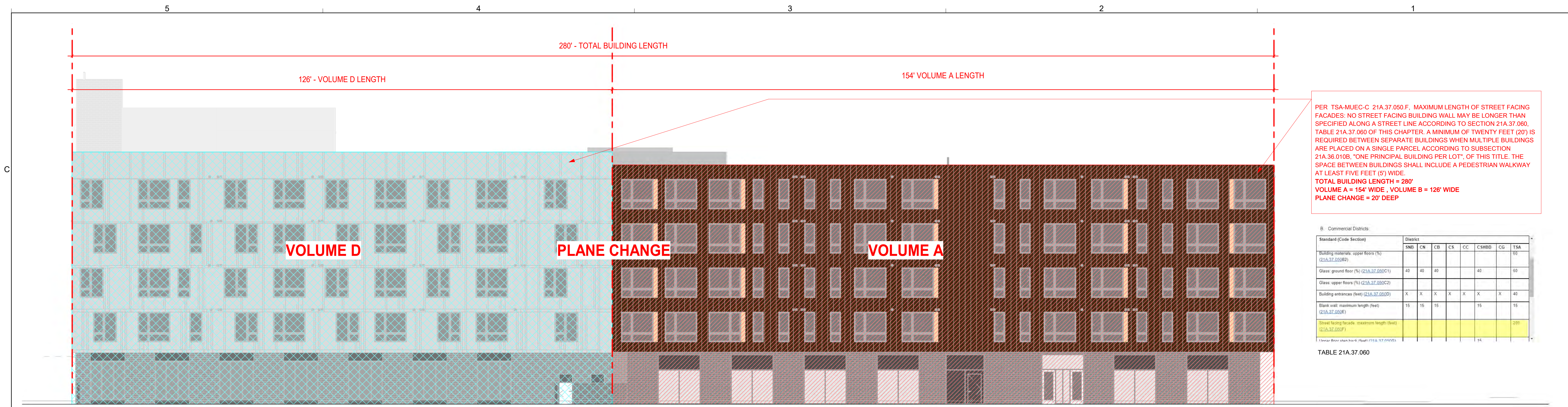


PER TSA-MUEC-C 21A.26.078.E.2, THE MINIMUM BUILDING HEIGHT APPLIES TO ALL STRUCTURES THAT ARE ADJACENT TO A PUBLIC OR PRIVATE STREET. THE BUILDING SHALL MEET THE MINIMUM BUILDING HEIGHT FOR AT LEAST FIFTY PERCENT (50%) OF THE WIDTH OF THE STREET FACING BUILDING WALL.

**TOTAL BUILDING WIDTH = 249'**  
**BUILDING WIDTH THAT IS BELOW 25' = 139'**  
**PERCENTAGE = 139' / 249' = 55.82%**

**BUILDING HEIGHT DIAGRAM - SOUTH ELEVATION** SCALE: 3/32" = 1'-0" **1**





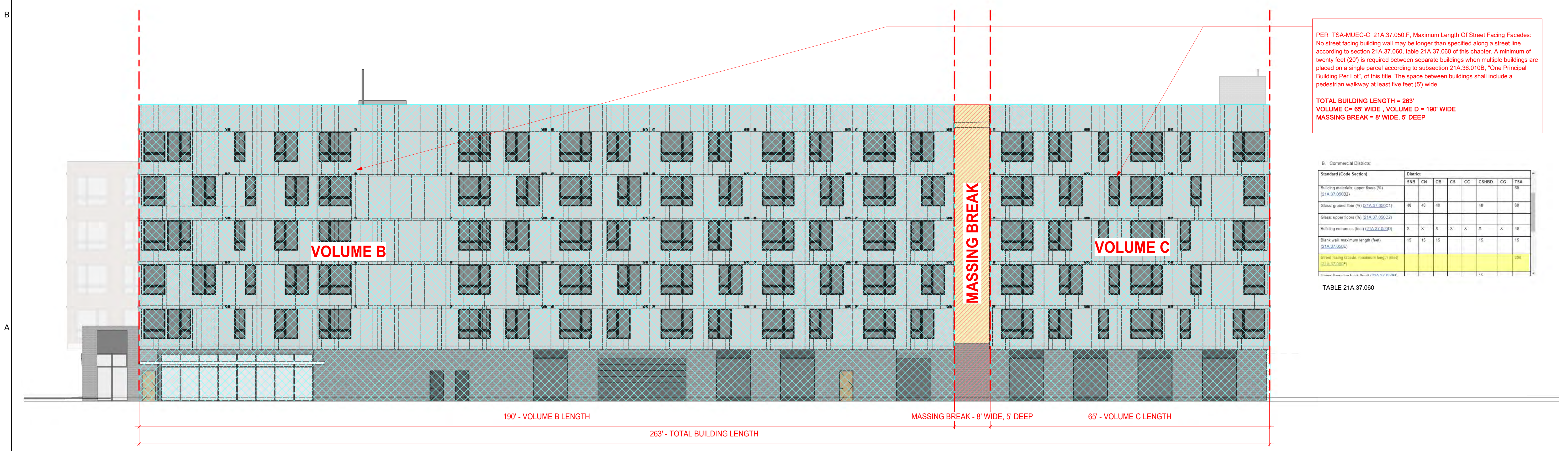
PER TSA-MUEC-C 21A.37.050.F, MAXIMUM LENGTH OF STREET FACING FACADES: NO STREET FACING BUILDING WALL MAY BE LONGER THAN SPECIFIED ALONG A STREET LINE ACCORDING TO SECTION 21A.37.060, TABLE 21A.37.060 OF THIS CHAPTER. A MINIMUM OF TWENTY FEET (20') IS REQUIRED BETWEEN SEPARATE BUILDINGS WHEN MULTIPLE BUILDINGS ARE PLACED ON A SINGLE PARCEL ACCORDING TO SUBSECTION 21A.36.010B, "ONE PRINCIPAL BUILDING PER LOT", OF THIS TITLE. THE SPACE BETWEEN BUILDINGS SHALL INCLUDE A PEDESTRIAN WALKWAY AT LEAST FIVE FEET (5') WIDE.  
**TOTAL BUILDING LENGTH = 280'**  
**VOLUME A = 154' WIDE, VOLUME B = 126' WIDE**  
**PLANE CHANGE = 20' DEEP**

B Commercial Districts:

Standard (Code Section)	District							
	SNB	CN	CB	CS	CC	CSHBD	CG	TSA
Building materials, upper floors (%) (21A.37.050B2)								50
Glass, ground floor (%) (21A.37.050C1)	40	40	40				40	50
Glass, upper floors (%) (21A.37.050C2)								
Building entrances (feet) (21A.37.050D)	X	X	X	X	X	X	X	40
Blank wall, maximum length (feet) (21A.37.050E)	15	15	15				15	15
Street facing facade, maximum length (feet) (21A.37.050F)								200
1 linear foot above blank (feet) (21A.37.050G)							15	

TABLE 21A.37.060

**BUILDING LENGTH DIAGRAM - WEST ELEVATION** SCALE: 3/32" = 1'-0" **2**



PER TSA-MUEC-C 21A.37.050.F, Maximum Length Of Street Facing Facades: No street facing building wall may be longer than specified along a street line according to section 21A.37.060, table 21A.37.060 of this chapter. A minimum of twenty feet (20') is required between separate buildings when multiple buildings are placed on a single parcel according to subsection 21A.36.010B, "One Principal Building Per Lot", of this title. The space between buildings shall include a pedestrian walkway at least five feet (5') wide.  
**TOTAL BUILDING LENGTH = 263'**  
**VOLUME C = 65' WIDE, VOLUME D = 190' WIDE**  
**MASSING BREAK = 8' WIDE, 5' DEEP**

B Commercial Districts:

Standard (Code Section)	District							
	SNB	CN	CB	CS	CC	CSHBD	CG	TSA
Building materials, upper floors (%) (21A.37.050B2)								50
Glass, ground floor (%) (21A.37.050C1)	40	40	40				40	50
Glass, upper floors (%) (21A.37.050C2)								
Building entrances (feet) (21A.37.050D)	X	X	X	X	X	X	X	40
Blank wall, maximum length (feet) (21A.37.050E)	15	15	15				15	15
Street facing facade, maximum length (feet) (21A.37.050F)								200
1 linear foot above blank (feet) (21A.37.050G)							15	

TABLE 21A.37.060

**BUILDING LENGTH DIAGRAM - EAST ELEVATION** SCALE: 3/32" = 1'-0" **1**



**3. Setbacks:**

a. General Standards For Front/Corner Side Yards:

- (1) All portions of the yard not occupied by building, driveways, walkways or other similar features must be landscaped or include an active outdoor use, such as outdoor dining, plazas, courtyards or other similar outdoor use. See subsection F of this section for specific front yard design requirements.
- (2) Parking is prohibited in the front and corner side yards.
- (3) Walls up to three feet (3') in height, patios and other similar elements intended to activate the sidewalk can be located to the property line.
- (4) Awnings or canopies may be located within any portion of the yard and are not subject to the front or corner side yard restrictions in subsection 21A.36.020B, table 21A.36.020B of this title.
- (5) Balconies may project up to two feet (2') into the required yards and are not subject to the front or corner side yard restrictions in subsection 21A.36.020B, table 21A.36.020B of this title.
- (6) All front and corner side yard standards in table 21A.26.078E3b of this subsection E may be modified through the design review process of chapter 21A.59 of this title, except that the front and corner side yard setback for 400 South shall not be reduced below the minimum.

**North Temple**

Minimum: 5', and at least 50% of the street facing building facade must be built to the minimum.

Maximum: 15', but may be increased if the additional setback is used for plazas, courtyards, or outdoor dining areas.

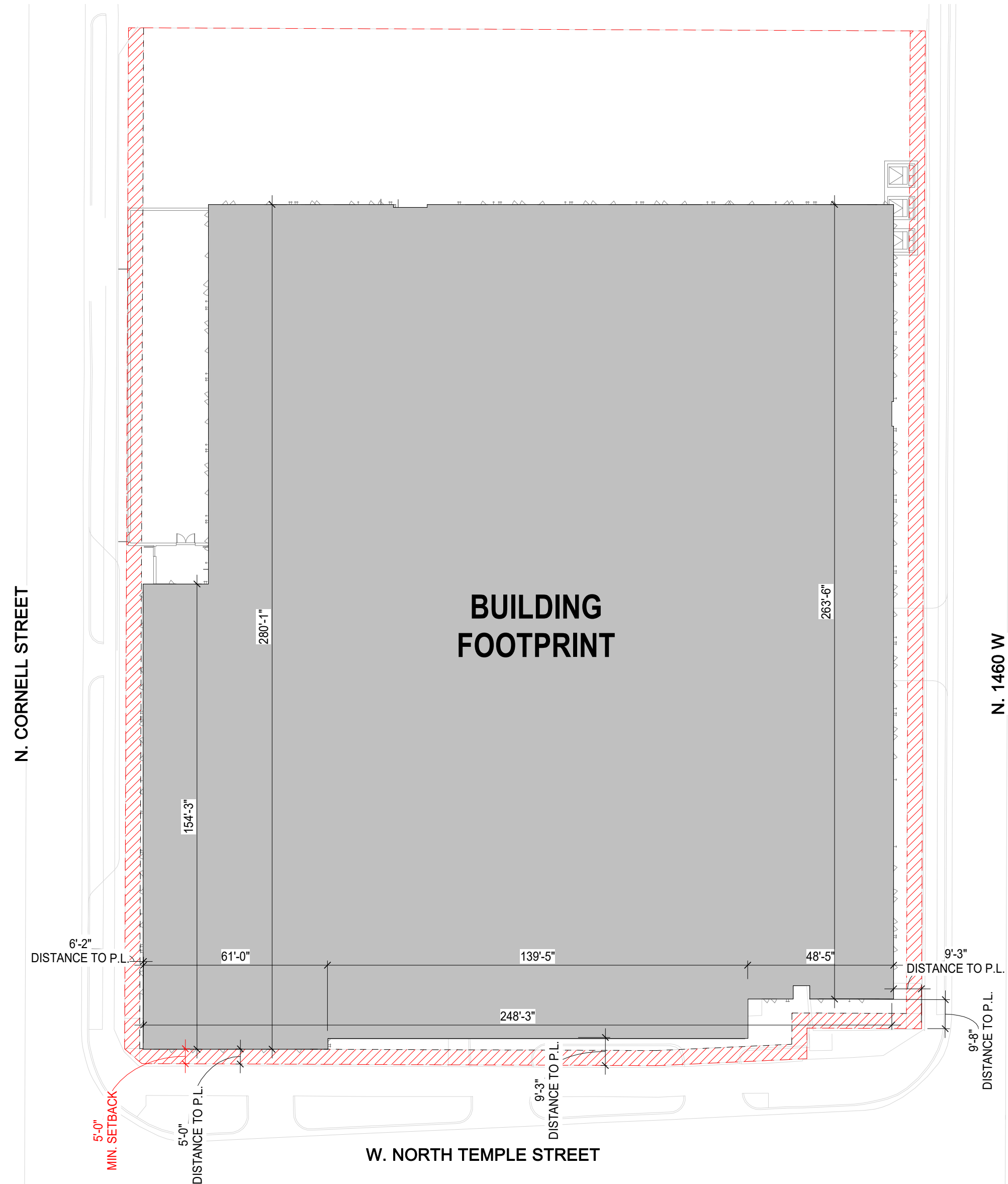
In locations where the sidewalk is not a minimum of 10' wide, additional sidewalk width shall be installed by the developer so there is a minimum width sidewalk of 10'. This applies to new buildings and to additions that increase the gross building square footage by more than 50%. This standard does not require removal of existing buildings or portions thereof.

21A.26.078 SETBACK REQUIREMENT 6

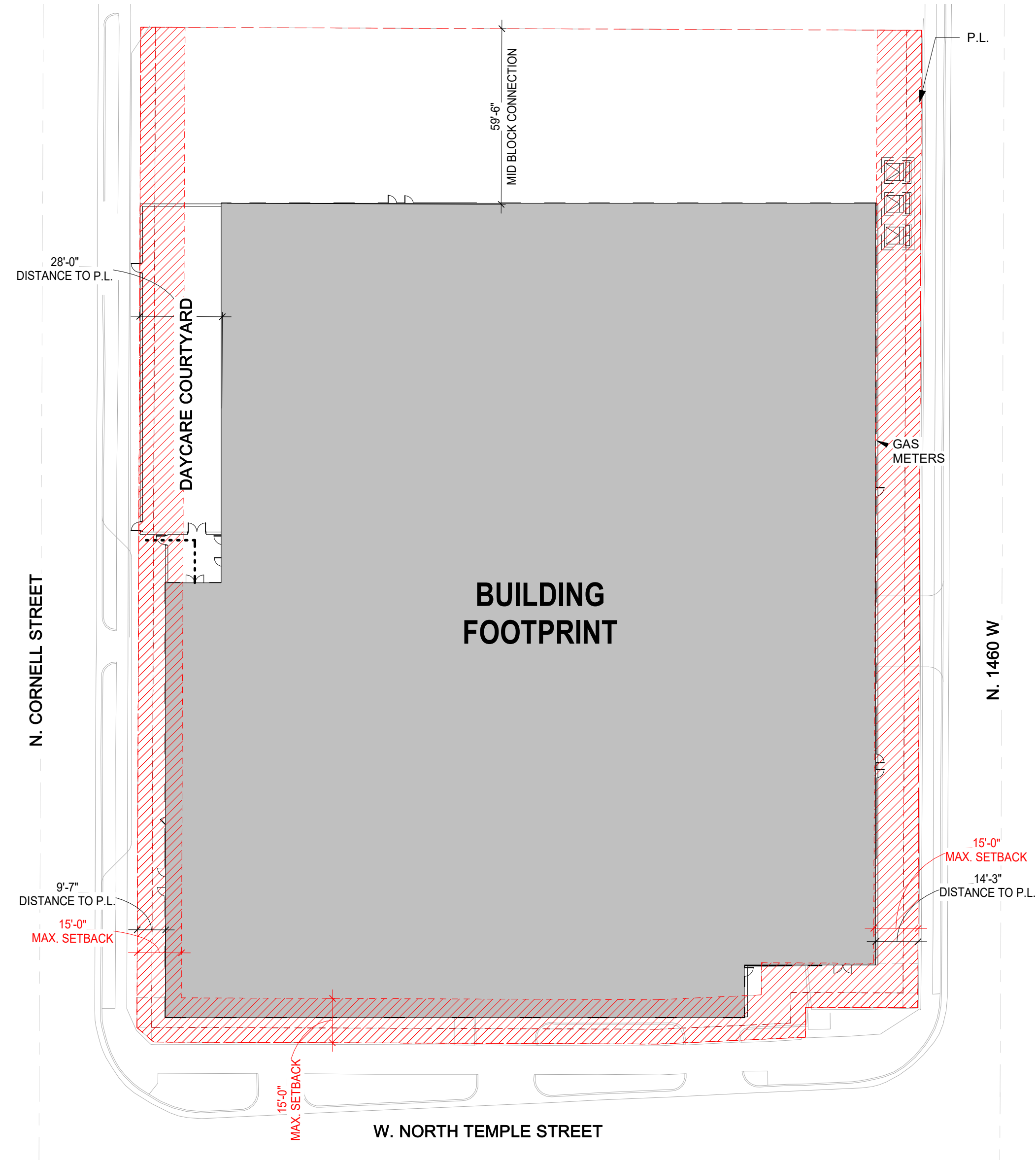
TABLE 21A.26.078E3B 5



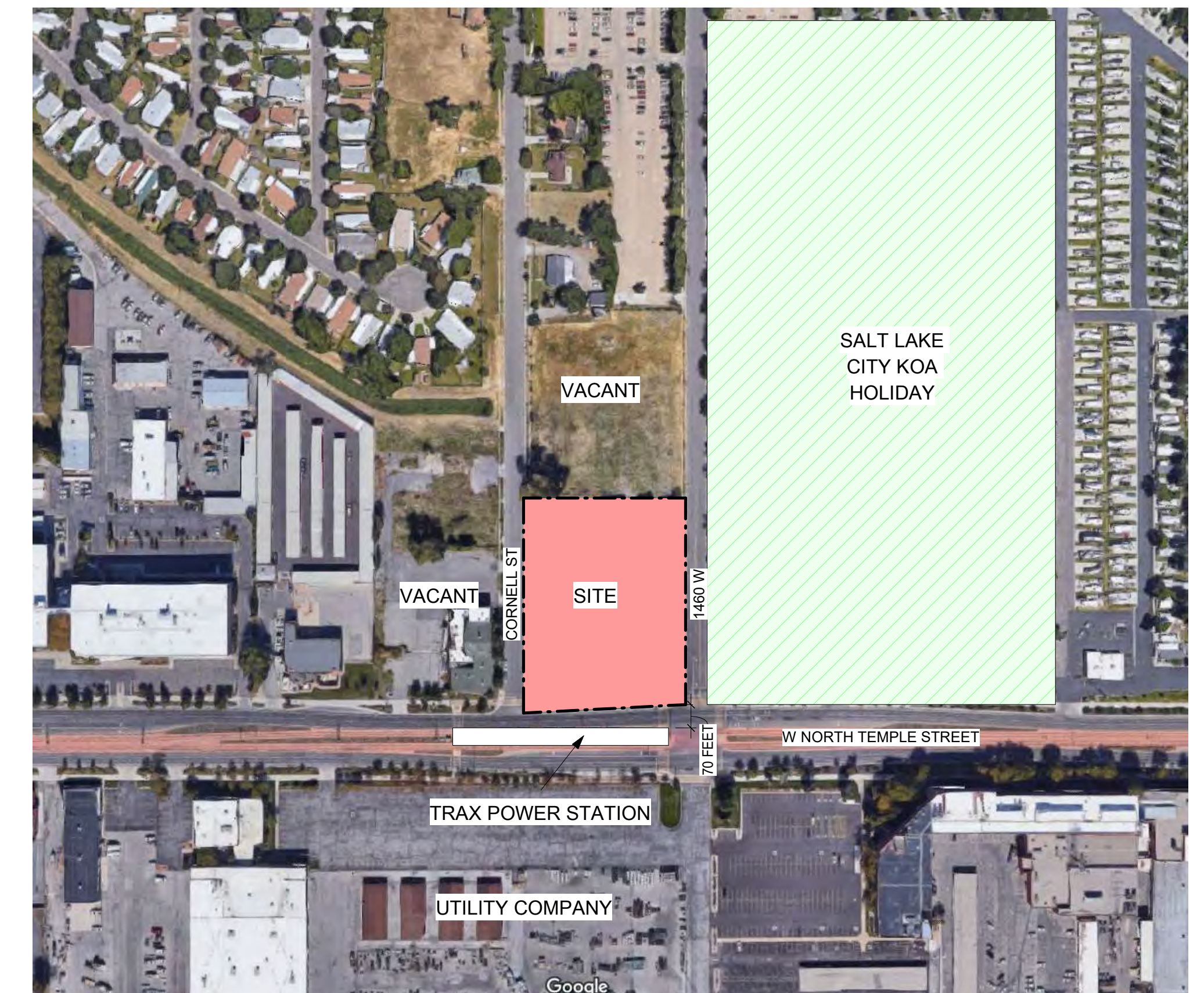
PROJECT FOOTPRINT DIAGRAM 2



PROJECT SETBACK DIAGRAM - L06 PLAN 4



PROJECT SETBACK DIAGRAM - L01 PLAN 3



PROJECT ADJAENCY DIAGRAM 1



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ZONING DIAGRAM

**DS0-13**





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PERSPECTIVE VIEW

**DS0-14**





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PERSPECTIVE VIEW

**DS0-15**





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PERSPECTIVE VIEW

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PERSPECTIVE VIEW

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PERSPECTIVE VIEW

**DS0-18**